



Building Permit Checklist for a Detached Garage or Residential Accessory Building

You will need a Building Permit if:

- The building or structure is over 10m squared in area;
- The building is habitable (i.e. Garden Suite).

You will need a Development Permit if:

- Your property is located in the floodway or within 6.0m of the floodway;
- Your property is located within the flood fringe;
- Your proposed structure does not meet the requirements of the Land Use Bylaw (height, setbacks, parcel coverage etc.)
- A deck is not permitted to be on the roof of a detached garage, carport or residential accessory building without an approved Development Permit.
- A detached garage may only be one storey, otherwise a development permit is required.
- A detached garage, carport or accessory residential building must not be located in a front yard.
- Residential building footprint cannot exceed lot coverage based on your land use designation.

All of the following information is necessary to complete a thorough evaluation and timely decision on your application. To aid in the evaluation, all materials submitted must be clear, legible, accurate and drawn to professional drafting standards. The **Town of High River will only accept complete application submissions.** Applicant's checklist shall be completed and submitted as part of the Building Permit submission. Thank you for your cooperation.

**Applicant's Office Use Only
Checklist**

Required Items

- | | | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | 1. Approved Development Permit (if applicable). |
| <input type="checkbox"/> | <input type="checkbox"/> | 2. Building Permit application – A copy can be obtained at the Safety Codes counter or online at www.highriver.ca . |
| <input type="checkbox"/> | <input type="checkbox"/> | 3. Completed Siting Confirmation application form. |
| <input type="checkbox"/> | <input type="checkbox"/> | 4. Provide Sub-Contractors List – contractors and sub-trades require current Town of High River business license. |
| <input type="checkbox"/> | <input type="checkbox"/> | 5. Set out the prevailing market value of the undertaking, (Note: Estimated value of work includes materials, labour, contractor's fees, architectural and engineer's fees (where applicable); excludes cost of land. |
| <input type="checkbox"/> | <input type="checkbox"/> | 6. State the type of occupancy. |
| <input type="checkbox"/> | <input type="checkbox"/> | 7. If a structure is to be installed on a temporary basis, as determined by the permit issuer, state the period for which the structure will be installed. |
| <input type="checkbox"/> | <input type="checkbox"/> | 8. Provide two (2) copies of the building Grade Slip. Original grade slip together with all signatures. |
| <input type="checkbox"/> | <input type="checkbox"/> | 9. Real Property Report may be requested by the Safety Codes Officer. |
| <input type="checkbox"/> | <input type="checkbox"/> | 10. Submit two (2) sets of scaled and dimensioned plans with the building permit application before starting any construction. The plans will include the following: |
| | | ○ SITE PLAN |
| | | ○ FOUNDATION PLAN |
| | | ○ FLOOR PLANS |
| | | ○ CROSS-SECTION |
| | | ○ ELEVATIONS |

309B Macleod Trail SW, High River, AB T1V 1Z5 P: 403-652-2110 E: permits@highriver.ca W: www.highriver.ca

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11. SITE PLAN (required information)

- Show North Arrow.
- Provide Municipal address.
- Indicate the size of the property by proper dimensioning.
- Provide location of the proposed building on the property, and indicate distances of the building to property lines and to any existing buildings on site.
- Show outline of any existing buildings located on the property, if applicable.
- Provide foundation outline of any existing dwelling located on the property including cantilevers, decks, & other projections.
- Show front, side and rear yard setback dimensions.
- Indicate right-of-way setbacks, easements, and utility right-of-way, if any.
- Indicate total area of the site & lot coverage.
- Show any retaining walls – including height and grade.
- Show roadway access.

12. FOUNDATION PLAN (required information)

- Show size and maximum spacing of anchor bolts.
- Provide foundation details including slab thickness and reinforcement (rebar).
- Indicate concrete strength.
- Provide foundation strip footing sizes.
- Show minimum depth of compacted gravel where required.
 - Garages over 55 m² (592 sq. ft.) in building area shall have foundation walls and footings 1.2 m (minimum) below grade around the perimeter or the foundation design must be reviewed by a Professional Engineer licensed to practice in the province of Alberta.
 - Where professional involvement is required, drawings provided, must be stamped by an Alberta registered architect, engineer, or registered professional technologist. The designer will be responsible for field review.
 - For accessory building less than 592 sq. ft., submit photographs and/or grades of the proposed building.

13. FLOOR PLANS (required information)

- Show roof truss details and indicate the direction of trusses.
- Show length and width dimensions of proposed floor area.
- Provide floor layout and construction details.
- Show window and man door opening locations and sizes where applicable, (include all door and window locations).
- Include details of all structural elements.
- Provide electrical layout with fixtures and switch controls.
- Show size of overhead door opening, and include your overhead door header detail.

14. CROSS-SECTION (required information)

- Show the roof pitch (slope).
- Show maximum projection of eave overhang and indicate the eave-line, measured from the finished floor level of the building.
- Indicate span between supports of the stud wall construction.

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- Show construction details for wall systems, and indicate (type of finish material, sheathing, etc.).
- Provide roof system details, and show material used (type of shingles/shakes etc.).
- Show Flashing details.
- For dimensional lumber floors and roof – show size and spacing.
- Indicate sizing of all lintels and headers, if dimensional lumber.
- Show size of doors and windows – indicate if they will be vented or sealed Units.
 - Structural details and members not covered in the current edition of the Alberta Building Code may require a Professional Engineer’s seal
 - Tall wall details-designed by a Professional Engineer or AHITC 2009 guidelines)
 - Provide two sets of engineered roof truss and floor joist layouts – point loads, column types and column types, and garage door headers must be shown (if applicable)
 - Eave projection is not permitted within 0.45 meters (1’-6”) of a property line shared with an adjacent property (excluding rain trough).
 - A non-vented soffit is required for an eave located within 1.2 meters (4 feet) of a property line shared with an adjacent property.
 - Spray foam – provide CCMC#
 - Where masonry veneer shows on plans, indicate their support. Show steel lintel sizes, specify weep holes, masonry wall ties, and flashing.

15. ELEVATIONS (front, rear, right, and left)

- Show the roof pitch (slope).
- Describe the exterior wall finish material.
- Indicate window and door locations.
- Indicate maximum height from roof top to grade level.
 - Effective April 22, 1982, the Municipal Planning Commission passed Resolution #036/82 stating the exterior of your accessory building must match the exterior of your house.
 - Exposed building face – For properties with side yard setbacks less than 5m, provide calculations for a maximum area of glazed openings in exterior walls on the side elevations, as per the current Alberta Building Code.
 - ENGINEERED ROOF TRUSS DESIGN (if trusses are to be used). Most lumber supply stores offer assistance in design for no charge if you are building a “packaged garage.” There are also a number of detached residential garage design books on the market than can help.

16. Full payment. Should you have any questions, please contact the Safety Codes Department

We will require a minimum ten (10) working days to process a completed building permit application. The building permit fee will be doubled should construction start prior to obtaining a building permit.

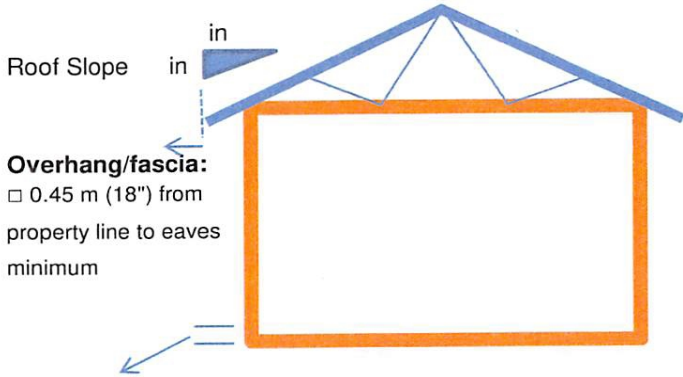
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Checked by:

Date:

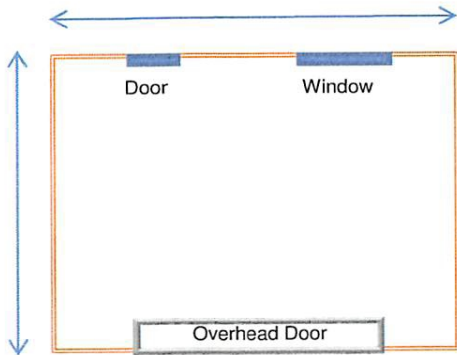


Standard Detached Garage Guidelines



Clearance:

- Ensure positive drainage is maintained away from building and other properties



Garage Width: _____ m or _____ ft
 Garage Length: _____ m or _____ ft
 Garage Height: _____ m or _____ ft

Roof Framing:

- Pre-manufactured Engineered Truss
- Pre-provide manufacturer's specifications
- Stick Built Rafters (provide details)

Roof Sheathing:

- Min 3/8" OSB or plywood
- 1/2" OSB or plywood
- Other _____

Note: OSB or plywood less than 1/2" requires H clips and ridge blocking

Roofing Material:

- Asphalt Shingles
- Metal roofing
- Other _____

Roof slope rise & run _____

Eaves - size: _____

Indicate on diagram placement of:

- Truss Direction
- Man door
- Window(s)
- Overhead garage door

Garage door size:

Width: _____ m or _____ ft

Height: _____ m or _____ ft

Garage Door Beam (header):

Length _____ m or _____ ft

- Dimensional _____
- Engineered _____

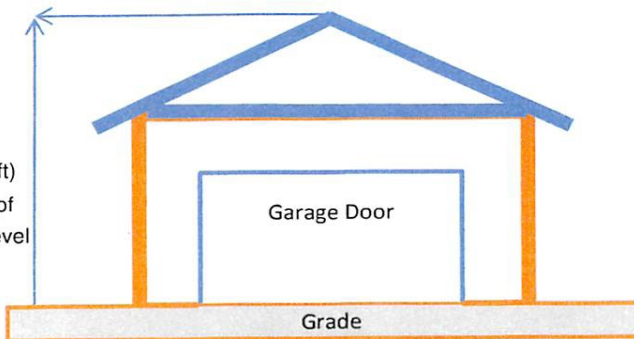
Size _____ # of Plys _____

Foundation Options:

- Edge of concrete pad shall be double thickness supporting exterior walls
- At least 5" gravel placed beneath garage pad
- Professional Engineer is recommended if garage structure exceeds 55 m² (592 ft) as determined in the Alberta Building Code.

Height:

Maximum
5 m (16.4 ft)
peak of roof
to grade level



FRONT ELEVATION



Elevations:

Please indicated locations of windows, doors & size of garage including height on all elevation drawings submitted.

Exterior Finish:

- Vinyl Siding
- Stucco
- Metal Siding
- Other: _____

Wall Sheathing:

- 3/8" OSB
- 3/8" Plywood
- 1/2" Plywood
- 1/2" OSB
- Other: _____

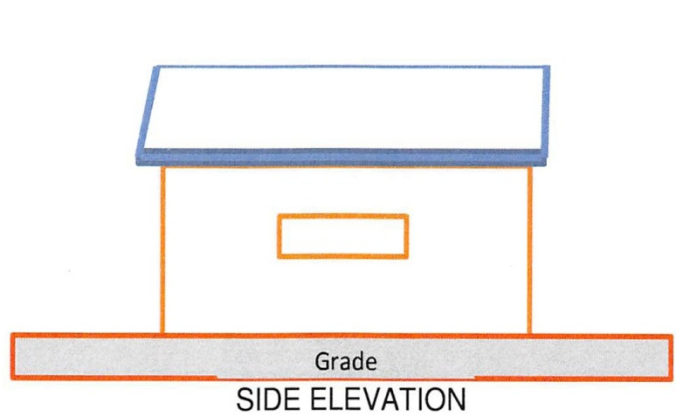
Wall Framing:

- 2 x 4 @ 16" O.C.
- 2 x 4 @ 24" O.C.
 - o Max wall height 9.8ft (3.0m)
- 2 x 6 @ 16" O.C.
- 2 x 6 @ 24" O.C.

**Garage exterior walls greater than 3m in height must be 2 x 6 construction*

Interior Development:

- Electrical
- Gas
- Plumbing
- Drywall
- Insulated walls and ceiling



CALL BEFORE YOU DIG: 1-800-242-3447

In some cases a Development Permit may be required through Planning Services before any Safety Code permits are issued. Contact Planning Services at 403-652-2110 or planning@highriver.ca or refer to the Land Use Bylaw at www.highriver.ca

_____, High River, AB
Civic Address

Date

Applicant Signature



Standard Detached Garage Site Plan Example

The following information must be completed:

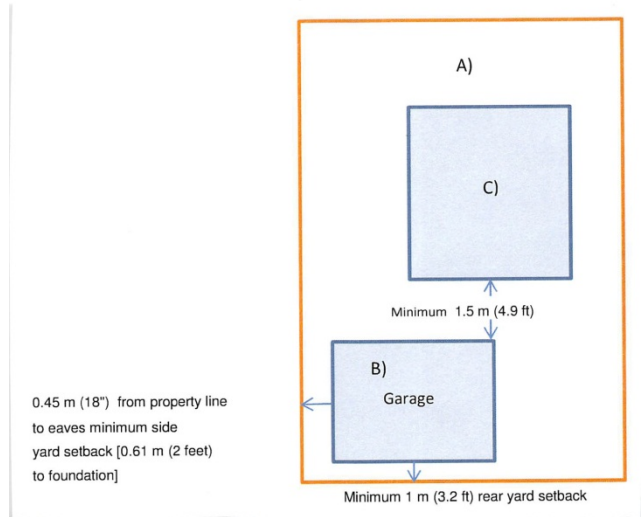
Lot size: _____ m² or _____ ft²

Garage: _____ m² or _____ ft²

Dwelling: _____ m² or _____ ft²

Garage Coverage: _____ % (B/A)

All structure Coverage: _____ % [(B+C)/A]



Note the following:

- Windows or doors cannot be placed in a wall that is closer than 1219mm (4 feet) to neighbors' property.
- If the roof framing members transfer roof loading to the overhead garage door beam, please specify the size of the garage door beam.
- Large opening size doors over 3m (10 feet wide) garage door beams without roof loading must be minimum size 3 - 2 x 12c/w a minimum of 3" bearing.
- Maximum size of a detached garage on a slab thickening foundation is 728sq ft with truss span not exceeding 8.5m (28 feet). A Professional Engineer is recommended if garage structure exceeds 55 m² (592 sq ft) as determined in the Alberta Building Code.
- Garage walls to be secured to slab with anchor bolts at 2.4m (8 feet) on center maximum.
- HIRF (High Intensity Residential Fire) - The garage eave must be 0.45m (18 inches) from property line and non-vented.
- Garage walls located closer than 0.6m (24 inches) from side yard must be constructed with a 45 minute fire-resistant rating.
- If variance(s) from any of the regulations is desired, a Development Permit granting the variance(s) must first be obtained from Planning Services before the Building Permit may be issued.

This guideline may be updated periodically. It has no legal status and cannot be used as an official interpretation of the various bylaws, codes and regulations currently in effect.

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