



Building Permit Checklist for an Unenclosed Deck

All of the following information is necessary to complete a thorough evaluation and timely decision on your application. To aid in the evaluation, all materials submitted must be clear, legible, accurate and drawn to professional drafting standards. **Town of High River will only accept complete application submissions.** Applicant's checklist shall be completed and submitted as part of the Building Permit submission. Thank you for your cooperation.

You will need a Building Permit if your deck is:

- Attached to a building and the deck height is 2 feet (24") above grade or (greater) or,
- To tear down and rebuild an existing deck.

PROFESSIONAL INVOLVEMENT

Structural members not specifically covered by the Alberta Building Code *may* require the services of a professional to undertake the design. Where professional involvement is required, drawings provided must be stamped by an Alberta registered architect, engineer, or registered professional technologist and submitted with your permit application. The designer will also be responsible for field review.

If a roof structure or other enclosure is to be constructed, permanent foundations such as larger footings or concrete walls may be required. Additional detailed drawings must be provided for review. Any covered deck requires the design to be submitted for foundation approval and may require the seal and signature of a Professional Engineer.

Concrete pile design is not provided in the Alberta Building Code and may require the seal and signature of a Professional Engineer. Drawings stamped by a Professional Engineer registered in Alberta will be required for concrete piles without footings.

Engineering is required if screw piles are being used (indicate CCMC listing number if applicable) If using composite decking, provide CCMC number.

Where the owner is uncertain about the need for professional involvement they shall be responsible to contact the Town of High River's Safety Codes Officer to obtain clarification.

CLEARANCE TO OVERHEAD POWER LINES

Wood decks beneath overhead power lines must maintain a minimum 3.5 m vertical clearance. Consult with your Electrical Utility regarding distances between metering and deck surfaces.

WARNING: Dial before you dig!

Contact Number: 1-800-242-3447

Alberta One Call: Locates utility lines on your property before you begin a project that involves digging in your yard. Utility lines that will be located include gas, water, electricity, drainage, telephone and cable TV lines. Allow 2 days for the lines to be located. No fees are required for this service.

309B Macleod Trail SW, High River, AB T1V 1Z5 P: 403-652-2110 E: permits@highriver.ca W: www.highriver.ca

The personal information provided on this form is protected by the Freedom of Information and Protection of Privacy Act.
Information on this form may be used by the Authority having Jurisdiction.



Applicant's Checklist	For office use only	Required Items
<input type="checkbox"/>	<input type="checkbox"/>	1. Approved Development Permit (if applicable).
<input type="checkbox"/>	<input type="checkbox"/>	2. Building Permit application – A copy can be obtained at the Safety Codes counter or online at www.highriver.ca . (Note: Estimated value of work includes materials, labour, contractor's fees, architectural and engineer's fees; excludes cost of land.)
<input type="checkbox"/>	<input type="checkbox"/>	3. Completed Siting Confirmation application form.
<input type="checkbox"/>	<input type="checkbox"/>	4. Sub-Contractors List – contractors and sub-trades require current Town of High River business license.
<input type="checkbox"/>	<input type="checkbox"/>	5. Submit two (2) sets of scaled and dimensioned plans with the Building Permit application before starting any construction. The plans will include the following: <ul style="list-style-type: none"> ○ SITE PLAN ○ DECK FLOOR PLAN ○ STAIR DETAIL (if any) ○ CROSS SECTION ○ FOUNDATION DETAIL
<input type="checkbox"/>	<input type="checkbox"/>	<p>6. SITE PLAN (required information)</p> <ul style="list-style-type: none"> ● Show North arrow. ● Provide municipal address. ● Show front, side and rear yard setback dimensions. ● Provide right-of-way setbacks, easements & utility right-of-way, if any. ● Show distances from deck to property lines and to any existing buildings on site. ● Indicate area of the site & lot coverage through proper dimensioning. ● Show retaining walls – including height and grade. ● Show location of deck steps (if any).
<input type="checkbox"/>	<input type="checkbox"/>	<p>7. DECK FLOOR PLAN (required information)</p> <p>Decks must be designed to hold a 1.9 kPa (40 lb/sq. ft.) load. They must be able to support the load in addition to the weight of the deck itself.</p> <ul style="list-style-type: none"> ● Show deck size (length, width and height) through proper dimensioning. ● Provide deck framing layout, indicating the joist direction on the plan as well as size, spacing of joists and span between joist supports. ● Show size, location and height of columns. ● Specify beam size. ● If using composite decking, provide CCMC number.



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Required Items

8. STAIR DETAIL (if any)

- Provide details of stairs (if any). For example, the width, height, rise, run, handrails, etc.

9. CROSS SECTION

- Open sides of a deck must be protected by a guardrail on each side not protected by a wall:
 - for the length where there the elevation is more than 600 mm (24") between the deck and ground; or
 - if the adjacent ground, within 1.2 m (47") of the deck, has a severe slope.
- Openings in guards in all non-industrial buildings shall be small enough that a spherical object with a diameter of 100 mm (4") won't fit through.
- Guardrails must be designed so no part, including ornamental fixtures, will facilitate climbing.
- Specific code guidelines to ensure this requirement is met are as follows:
 - Guardrails must be at least 1.07 m (42") high, from the deck surface to the top of the guardrail.
 - Guardrails serving one home can be 0.9 m (3') high if the deck surface is not more than 1.8 m (6') above the ground.
- Show the type of foundation and depth below grade.
- Describe the location, size and depth of piles (if any).

SAFETY MEASURES

Doors opening onto a residential wood deck must be mechanically secured to prevent access until handrails and guards are installed, if they are required by the Alberta Building Code.

10. FOUNDATION DETAILS

Surface foundation requirements:

- If your deck is built on a foundation that is supported on a surface other than rock or coarse grained soil with good drainage, access to the foundation for re-leveling shall be provided:



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- by passageways with a clear height under the deck of at least 600 mm (24") and a width of at least 600 mm (24"); or
- by installing the deck surface in a way that allows easy removal.

11. Subsurface foundation requirements:

- Foundation details – all deck pilings require concrete pad footings a minimum of 24" x 24" x 8" for uncovered decks or 36" x 36" x 8" for covered decks at a minimum of 4'-0" below grade. Drawings stamped by a Professional Engineer registered in Alberta will be required for concrete piles without footings.
- Wood piles must be treated with an acceptable preservative to at least 300 mm (12") above ground level.

12. Full payment. Should you have any questions, please contact Safety Code Services at 403-652-2110 or permits@highriver.ca

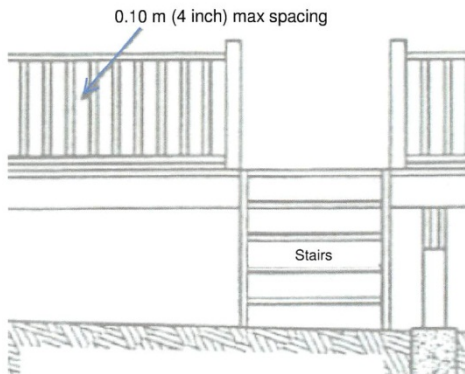
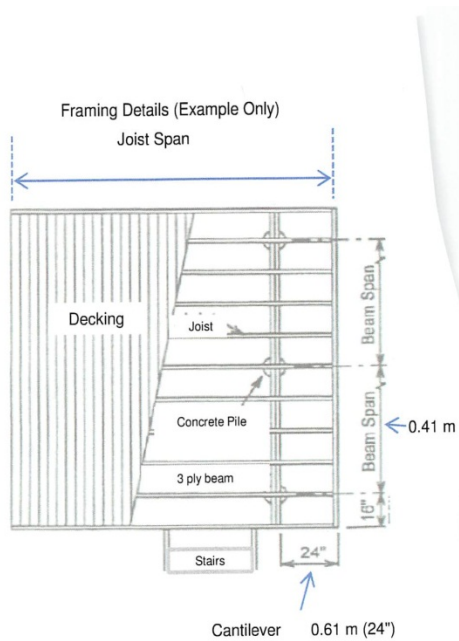
We will require a minimum ten (10) working days to process a completed building permit application. We will double the permit fees should construction start prior to obtaining a building permit.

Office Use Only:

Checked by: _____ Date: _____



Town of High River Unenclosed Deck Guidelines



Deck Width: _____ m or _____ ft
 Deck Length: _____ m or _____ ft
 Deck Height: _____ m or _____ ft
 Floor Joist type & spacing _____
 Beam size (minimum 3 ply) _____
 Post Spacing _____

Concrete Piers

*Concrete piers are to be at least 0.25m (10 inches) diameter and extended below frost level a minimum 1.22m (4 feet) below lot grade Columns must be anchored to piles to resist wind uplift.
 *Foundation _____

Stairs

*Rise (maximum 0.20m – 8 inches) _____
 *Run (minimum 0.21 m – 8 ¼ inches) _____
 *Tread (minimum 0.23m – 9 ¼ inches) _____

Guards

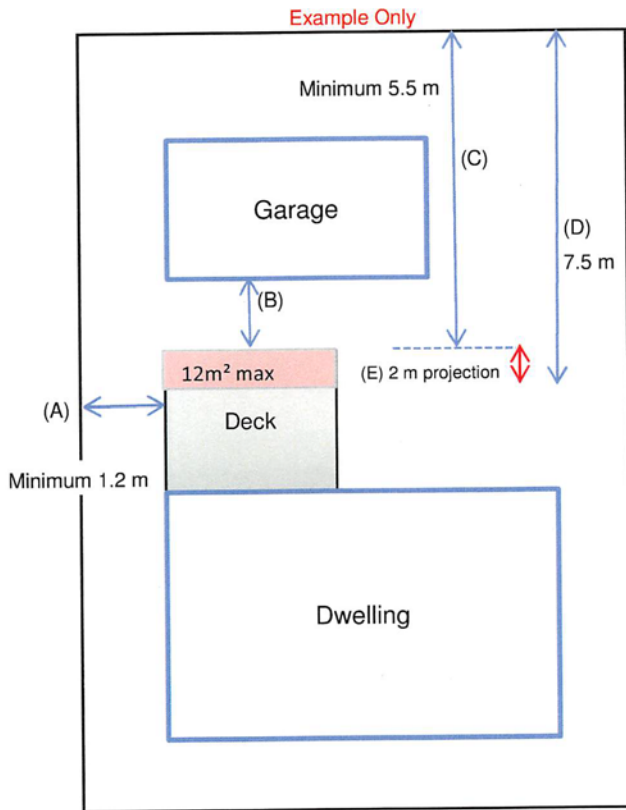
*Must be non-climbable, no horizontal rails, fixed benches or other items that could provide a foothold located between 0.10 – 0.90m (4-36 inches) from deck surface
 *Guard height 0.90m (3 feet) unless distance from floor to ground exceeds 1.83m (6 feet) in which case a 1.07m (3.50 feet) height is required
 *Guards are required on open sides of stairs over 3 risers, and must be at least 0.91m (3 feet) in height
 *No openings in a guard greater than 0.10m (4 inches)
 *Guardrail and handrail height: _____

Handrail:

*Located between 0.81m (32 inches) and 0.97 m (38 inches) above stair nosing.



Town of High River Unenclosed Deck Guidelines



Setbacks

Sideyard setback _____ m or _____ ft

Between accessory building & deck ___m or ___ft

Rear yard to deck _____m or _____ft

****In some cases a Development Permit may be required through Planning Services before any Safety Code permits are issued. Contact Planning at 403-652-2110 or planning@highriver.ca for further information.**